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SUMTER ANDERSON LIBRARY ROOF REPAIRS

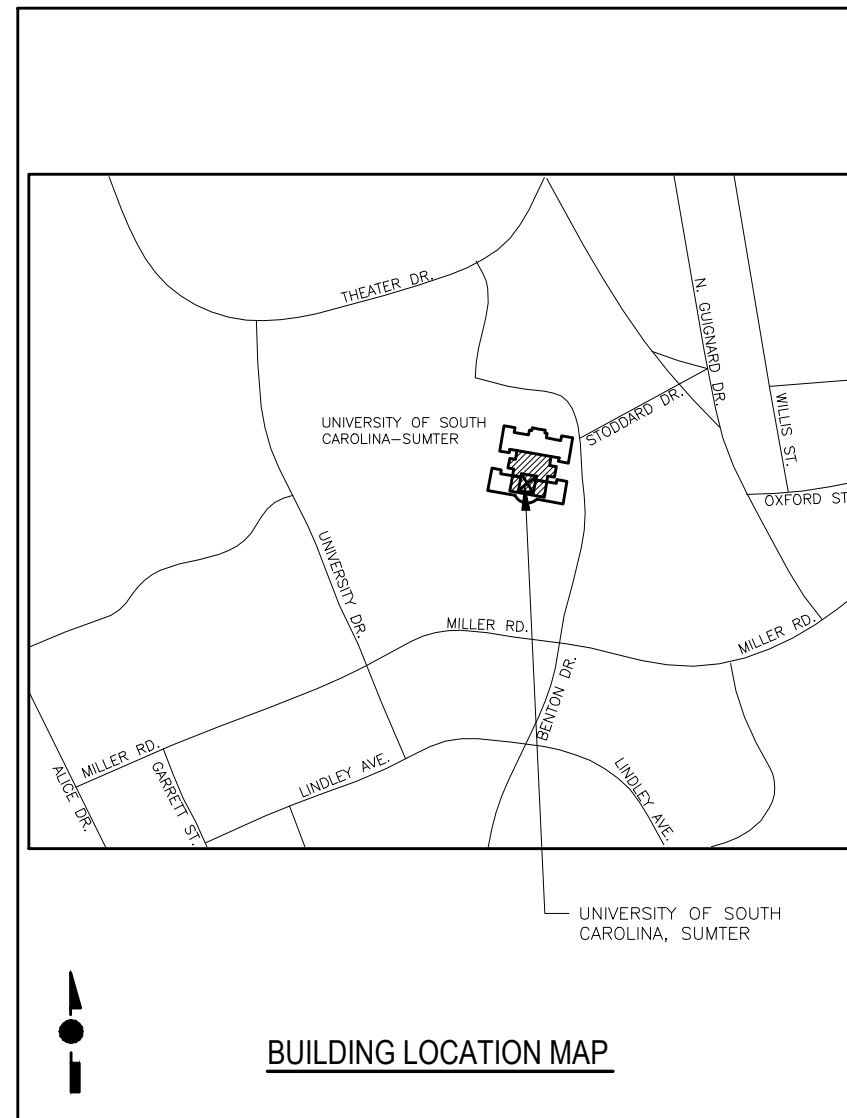
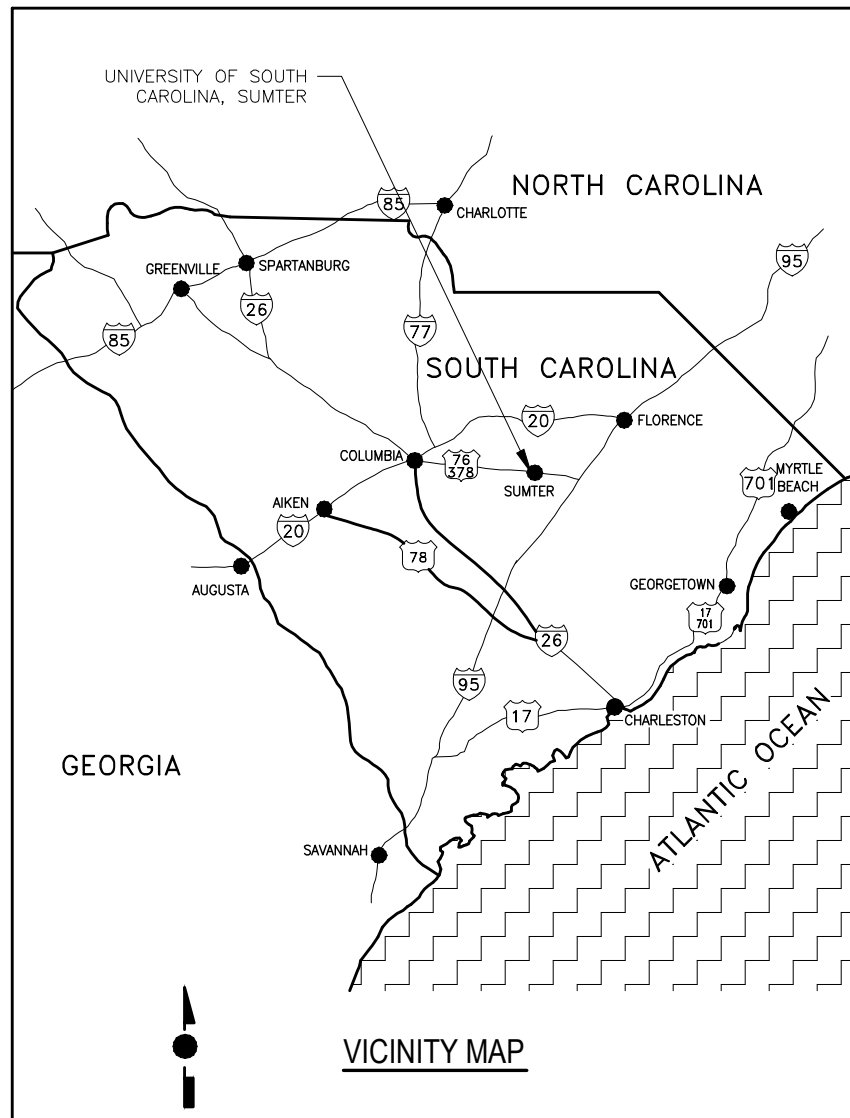
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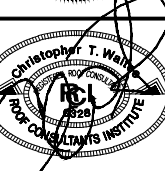
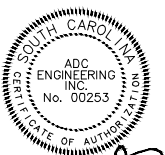
OWNER PROJECT NUMBER: H39-9517-MJ-A

ADC PROJECT NUMBER: 12339



LEGEND		ABBREVIATIONS	
	SAMPLE TAKEN, R=ROOF F=FLASHING S=STICK	A	ABANDONED
	ROOF AREA / LEVEL	ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE
	LOCATION OF SAMPLE CORE	BIA	BRICK INDUSTRY ASSOCIATION
	ROOF DRAIN	DS	DOWNSPOUT
	OVERFLOW SCUPPER	EPDM	SINGLE PLY
	ROOF HATCH / SCUTTLE	ETC	ET CETERA
	VENT THRU ROOF	HVAC	HEAT/VENTILATION/AIR CONDITION
	EXPANSION JOINT	LB	POUND
	EXPANSION JOINT BY WALL	MAX	MAXIMUM
	VENTILATOR	MIN	MINIMUM
	PARAPET WALL	N.I.C.	NOT IN CONTRACT
	SLOPE DIRECTION	NRCA	NATIONAL ROOFING CONTRACTORS ASSOCIATION
		O.C.	ON CENTER
		OSHA	OCCUPATIONAL SAFETY AND HEALTH ASSOCIATION
		PVC	POLYVINYLCHLORIDE
		RD	ROOF DRAIN
		SK	SKYLIGHT
		SMACNA	SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION, INC.
		SWRI	SEALANT WATERPROOFING RESTORATION INSTITUTE
		TYP	TYPICAL
		VTR	VENT THRU ROOF
		W/	WITH
DETAILS/SECTION IDENTIFIER			
	DETAIL/SECTION LABEL		
	SHEET SHOWN ON		
DRAWING INDEX			
R101	COVER SHEET		
R102	GENERAL NOTES		
R103	EXISTING ROOF PLAN		
R104	EXISTING ROOF PLAN		
R105	NEW ROOF PLAN		
R106	NEW ROOF PLAN		
R201	DETAILS / SECTIONS		
R202	DETAILS / SECTIONS		

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DATE:	2-13-2013
ADC PROJECT #:	12339
DESIGNED:	CTW
CHECKED:	CTW
DRAWN:	DAN
REVISION:	

COVER SHEET

R101

SUMMARY OF WORK

- A. THE BUILDING WILL REMAIN COMPLETELY FUNCTIONAL AND FULLY PROTECTED AT ALL TIMES DURING THE CONSTRUCTION WORK.
- B. BASE BID WORK INCLUDES MISCELLANEOUS ROOF SYSTEM REPAIRS ON ROOF AREAS A, B, C, D, E, F, G AND H AND COMPLETE SEALING OF THE LARGE SKYLIGHT ON ROOF AREA A, SELECTIVE MASONRY REPAIRS/MODIFICATIONS, SEALANT REPLACEMENT AND SHEET METAL CLOSURES WHERE INDICATED ON THE DRAWINGS. ALL ASSOCIATED SHEET METAL COMPONENTS AND ACCESSORIES ARE INCLUDED. REMOVAL OF MINOR, NON-FRIABLE ASBESTOS CONTAINING ROOFING MATERIALS WILL BE PROVIDED BY USC.
 1. DEMOLITION OF THE EXISTING ROOF SYSTEM(S) DOWN TO THE DECK IN ACCORDANCE WITH SECTION 02 04 00, CUTTING AND PATCHING AND SECTION 02 05 00, DEMOLITION AND REMOVAL.
 2. THROUGH WALL FLASHING REPLACEMENT IN ACCORDANCE WITH SECTION 04 50 10, MASONRY REPLACEMENT, RESTORATION AND CLEANING.
 3. ROOF SYSTEM REPAIRS IN ACCORDANCE WITH SECTION 07 50 10, GRAVEL SURFACED BUILT-UP ROOF REPAIRS.
 4. SHEET METAL, COMPONENTS AND ACCESSORIES IN ACCORDANCE WITH SECTION 07 60 00, SHEET METAL.
 5. REPLACEMENT OF SEALANT SYSTEMS FROM THE DEFINED AREAS OF THE BUILDING ENVELOPE IN ACCORDANCE WITH SECTION 07 92 10, SEALANTS FOR BUILDING ENVELOPE.
 6. MODIFICATIONS AND REPAIRS TO THE EXISTING WINDOWS, STOREFRONT AND CURTAIN WALL SYSTEMS IN ACCORDANCE WITH SECTION 08 81 01, GLAZING REPAIRS.
- C. UNIT PRICES AND ALLOWANCES ARE INCLUDED IN ACCORDANCE WITH SECTION 01 21 10, UNIT PRICES AND ALLOWANCES AND ARE TO BE INCLUDED IN THE BASE BID.

UNIT PRICE QUANTITIES

1. IN ACCORDANCE WITH SECTION 01100, SUMMARY OF WORK, THE CONTRACT DOCUMENTS INCLUDE WITHIN THE BASE BID SPECIFIC QUANTITIES.
2. THE SPECIFIC QUANTITIES ARE LISTED WITHIN THE INDIVIDUAL SPECIFICATION SECTIONS OF THIS PROJECT AND ARE INCLUDED ON THE BID FORM AS NOTED.

A SINGLE UNIT PRICE WILL BE PROVIDED FOR EACH ITEM, TO BE USED AS AN 'ADD' OR 'DEDUCT', BASED ON ACTUAL FIELD CONDITIONS. ANY QUANTITY ABOVE OR BELOW THESE SPECIFIED AMOUNTS WILL RESULT IN AN 'ADD' OR 'DEDUCT' TO THE CONTRACT SUM BASED ON THE REQUIRED UNIT PRICES.
3. IN ACCORDANCE WITH SECTION 01205 UNIT PRICES AND ALLOWANCES, THE FOLLOWING DOCUMENTATION IS REQUIRED.
 - A. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL REPAIR UNIT PRICED QUANTITIES USED BASED ON CONTRACT REQUIREMENTS.
 - B. CONTRACTOR SHALL NOTIFY OWNER IN WRITING WHEN 80% OF QUANTITY IS USED FOR EACH UNIT PRICE ITEM.
 - C. OWNER IS NOT RESPONSIBLE FOR QUANTITIES WHICH EXCEED 80% UNLESS OWNER IS NOTIFIED IN WRITING PRIOR TO EXCEEDING THESE QUANTITIES, AND CONTRACTOR RECEIVES APPROVAL TO PROCEED.
 - D. PROVIDE PHOTOGRAPH OR VIDEOTAPE DOCUMENTATION OF REPAIRS AND ACTUAL QUANTITIES USED.
 - E. LOCATE QUANTITIES AND SHOW THEIR LOCATIONS ON DRAWINGS.
 - F. PROVIDE ACTUAL USED QUANTITIES ON EACH APPLICATION FOR PAYMENT REQUEST.
4. PROVIDE SUMMARY OF UNIT QUANTITIES 'REQUIRED' VERSE 'USED' AND ABOVE DOCUMENTATION WHEN REQUESTED, AND AS PART OF PROJECT CLOSE-OUT REQUIREMENTS OF SECTION 01700, CONTRACT CLOSE-OUT.

GENERAL NOTES

1. PRIOR TO PERFORMING WORK, CONTRACTOR SHALL INSPECT CONDITIONS AND SUBSTRATE CONDITIONS. PROVIDE FOR THE SAFETY AND PROTECTION OF WORKERS AND OCCUPANTS THROUGHOUT THE COURSE OF WORK.
2. ALL BUILDING DIMENSIONS, EXISTING CONDITIONS, ITEM LOCATIONS, AND SIZE AND QUANTITY OF PENETRATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BID.
3. LAYDOWN / STORAGE AREA IS LIMITED AND SHALL BE AS APPROVED BY THE OWNER.
4. SITE SHALL BE CLEANED ON A DAILY BASIS AND SECURED AT THE END OF EACH WORK DAY.
5. BUILDING ACCESS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE ONLY AS REQUIRED TO ACCOMPLISH CONTRACT WORK.
6. SCAFFOLDING, STAIR TOWERS, AND SWING STAGES SHALL ADHERE TO ALL SAFETY STANDARDS, AND ANY MODIFICATIONS TO THE FACILITY FOR THOSE ITEMS, SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.

PROTECTION NOTES

1. FACILITIES MAY BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE FACILITY, CONTENTS, AND OCCUPANTS.
2. THE BUILDING SHALL BE WATERTIGHT AT THE END OF EACH DAY'S WORK AND WHEN INCLEMENT WEATHER THREATENS.
3. CONTRACTOR SHALL PROTECT THE BUILDING EXTERIOR AND GROUNDS INCLUDING SURFACES, GRASS, PLANTS, TREES, SHRUBS, AND OTHER LANDSCAPING. THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS TO ORIGINAL OR BETTER CONDITION.
4. ANY SURFACES STAINED, MARRED, OR DAMAGED BY THE WORK OR THE CONTRACTOR, THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS OF THE SITE OR FACILITY TO ORIGINAL OR BETTER CONDITION AND MATCH ADJACENT SURFACES.
5. APPLICATIONS / INSTALLATIONS WHICH MAY AFFECT ADJACENT FACILITIES, CARS OR PEDESTRIANS MUST BE PLANNED AND COORDINATED TO ENSURE NO DAMAGE OCCURS.

GENERAL M/E/P AND COORDINATION NOTES

1. DISCONNECT AND REMOVE ALL MECHANICAL AND ELECTRICAL EQUIPMENT AS NECESSARY TO COMPLETE WORK IN THE AREAS AND REINSTALL UPON COMPLETION OF WORK IN THE AREA TO MINIMIZE DOWN TIME. PROVIDE FOR EXTENSION AND MODIFICATION OF SERVICE. UTILITIES, INTERIOR COMPONENTS AND ALL CONNECTIONS AS NECESSARY TO ACCOMMODATE NEW THICKNESS HEIGHTS AND LOCATIONS.
2. ANY CABLES, WIRES, SATELLITE OR MICROWAVE DISHES, ANTENNAS AND MECHANICAL, ELECTRICAL OR ELECTRONIC COMPONENTS SHALL BE TEMPORARILY DISCONNECTED AND RECONNECTED BY QUALIFIED CRAFTSMEN. THIS INCLUDES ROOF, WALLS AND ADJACENT AREAS.
3. ANY LOCATIONS/CONDITIONS WHERE THE ABOVE REQUIREMENTS CANNOT BE MET, SHALL BE BROUGHT TO THE ATTENTION OF THE ROOF CONSULTANT/ENGINEER OR OWNER IMMEDIATELY.

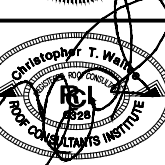
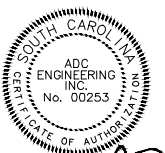
DEMOLITION NOTES

1. SEE SECTION 01500, CONSTRUCTION FACILITIES AND TEMPORARY CONTROLS, SECTION 02040, CUTTING AND PATCHING AND SECTION 02050, DEMOLITION AND REMOVAL.
2. REMOVE ALL EXISTING WORK/MATERIAL, IN THEIR ENTIRETY DOWN TO THE ORIGINAL SUBSTRATES WITHIN THE SCOPE OF THIS WORK TO PERMIT COMPLETION OF ALL REPAIRS AND REPLACEMENTS.
3. REMOVE ALL MATERIALS, FLASHINGS AND ACCESSORIES AS NOTED, SPECIFIED OR REQUIRED TO COMPLETE THE WORK. ALL NEW SHEET METAL REQUIRED UNLESS OTHERWISE INDICATED.
4. THE UNDERSIDE (INTERIOR SIDE) OF THE DECK MAY HAVE HVAC, ELECTRICAL FIXTURES, ETC. ATTACHED. THE CONTRACTOR SHALL HAVE QUALIFIED CRAFTSMEN REMOVE AND REINSTALL ALL AFFECTED ITEMS OF THE DEMOLITION OF ROOFING OR DETERIORATED DECKING. THE LOCATION AND METHOD OF ATTACHMENT SHALL BE THE SAME AS THE ORIGINAL, UNLESS DIRECTED OR APPROVED OTHERWISE BY THE ROOF CONSULTANT AND/OR THE OWNER.
5. ANY CABLES, WIRES, SATELLITE OR MICROWAVE OR MEMBRANE DISHES, ANTENNAS, AND MECHANICAL, ELECTRICAL OR ELECTRONIC COMPONENTS SHALL BE TEMPORARILY DISCONNECTED AND RECONNECTED BY QUALIFIED CRAFTSMEN. THIS INCLUDES ROOF AREAS, WALLS, FLASHINGS, AND ADJACENT WALL AREAS.
6. ALL DEMOLITION SHALL ADHERE TO ANSI AND OSHA GUIDELINES, AND SECTION 01525.

CONSTRUCTION NOTES

1. SURFACES OF THE BUILDING ENVELOPE SHALL BE INSPECTED AND REPAIRED AS SPECIFIED PRIOR TO INSTALLATION OF ANY WORK.
2. ALL WORK SHALL BE IN STRICT COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ANY CLARIFICATIONS WILL BE IN ACCORDANCE WITH THE BIA TECHNICAL NOTES.
4. SHEET METAL WORK SHALL BE IN STRICT COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ANY CLARIFICATIONS OR ADDITIONAL INFORMATION SHALL BE IN ACCORDANCE WITH PUBLISHED GUIDELINES OF NRCA ROOFING AND WATERPROOFING MANUAL (5th EDITION) AND SMACNA ARCHITECTURAL SHEET METAL MANUAL (6th EDITION) TO THE MAXIMUM EXTENT POSSIBLE.
5. ALL FLASHING TERMINATIONS SHALL HAVE CONFORMING WATERTIGHT SHEET METAL CLOSURES, AND WATERPROOF UNDERLAYMENT BELOW W/ SEALED LAPS.
6. SEALANT WORK SHALL BE IN STRICT COMPLIANCE WITH THE CONTRACT REQUIREMENTS. ANY CLARIFICATIONS SHALL BE IN ACCORDANCE WITH SWRI SEALANT HANDBOOK.
7. SPECIFIC AND TYPICAL DETAILS ARE PROVIDED W/ GENERIC TYPE SUBSTRATE SHOWN. TYPICAL DETAILS APPLY TO ALL INSTANCES WHERE SIMILAR CONDITION OCCURS.
8. ALL WORK SHALL BE CONDUCTED IN A SUBSTANTIAL WORKMANLIKE MANNER IN ACCORDANCE WITH SPECIFIED REQUIREMENTS.

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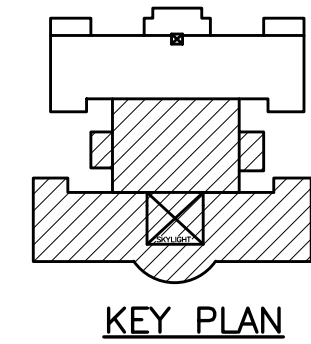
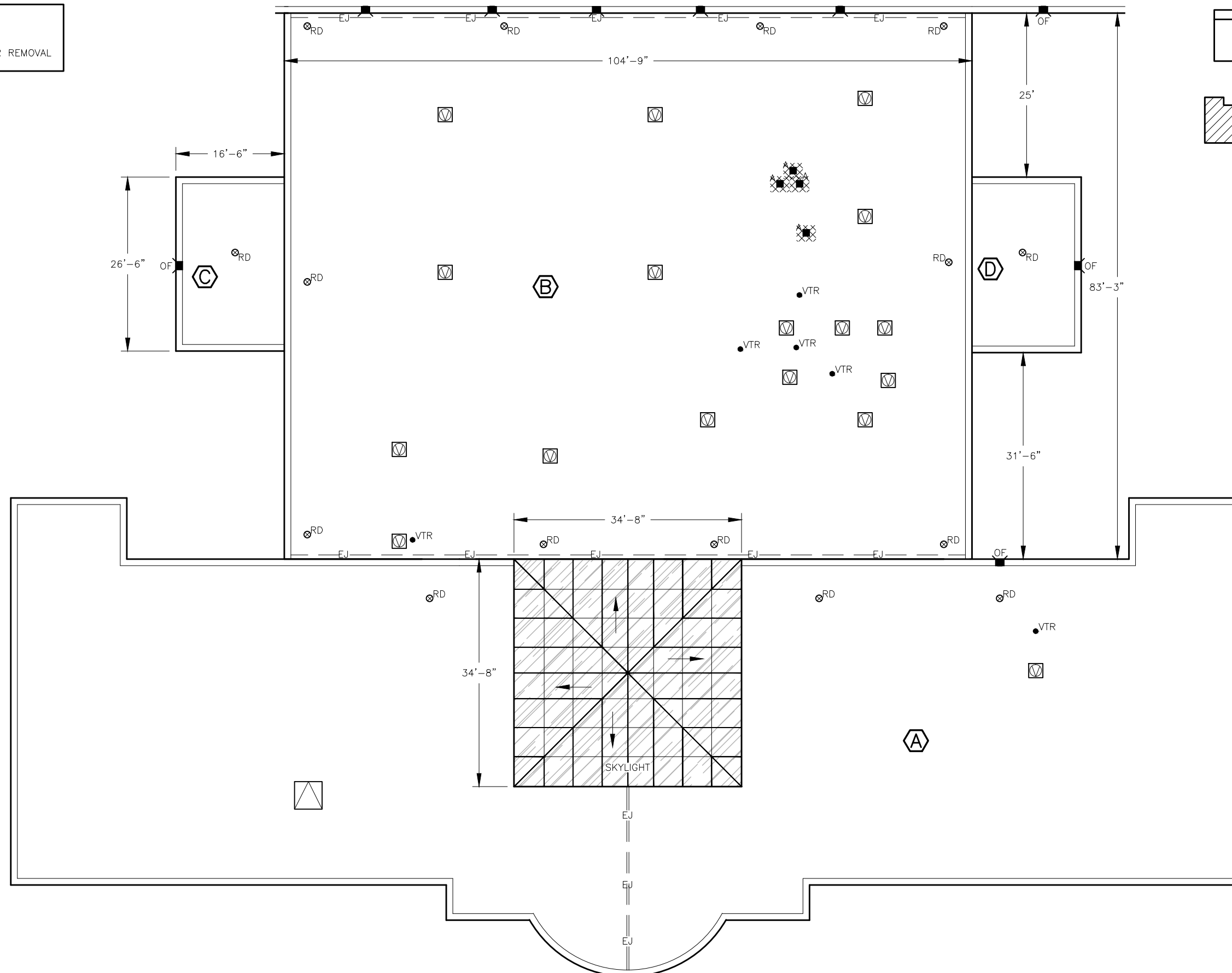
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GENERAL NOTES

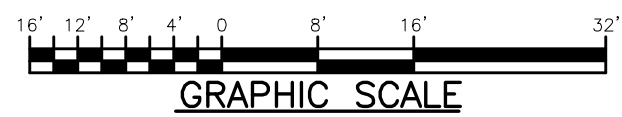
R102

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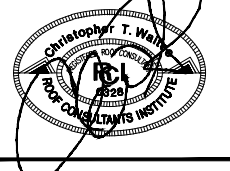
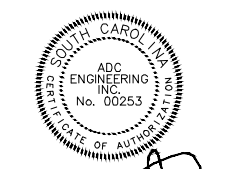
NOTE:
[Hatched Box] = HATCH FOR REMOVAL



EXISTING ROOF PLAN



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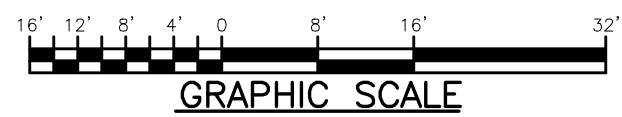
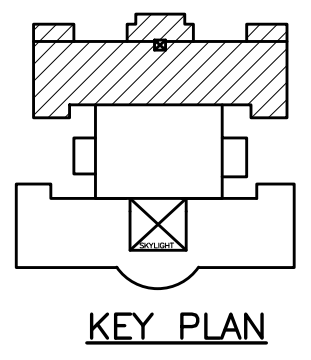
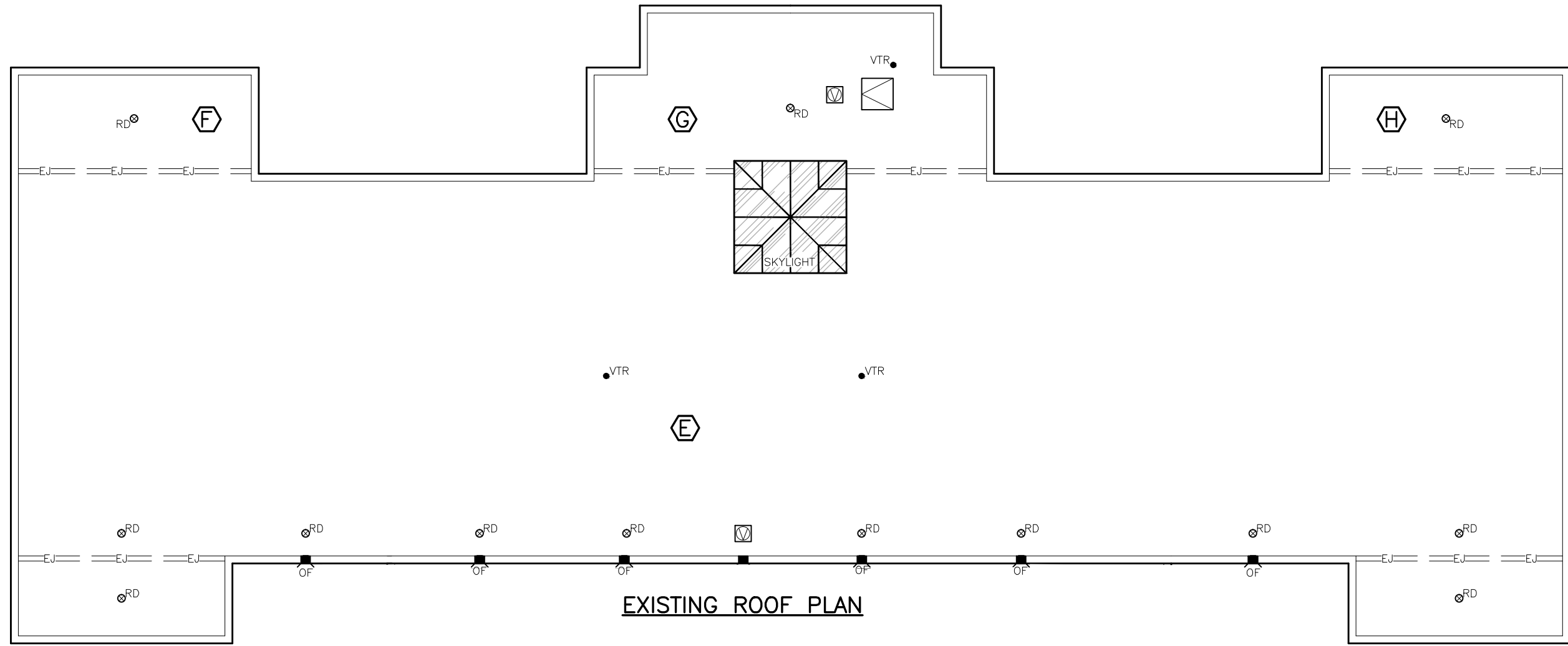
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EXISTING ROOF PLAN

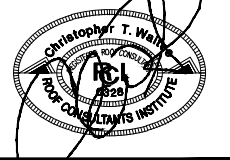
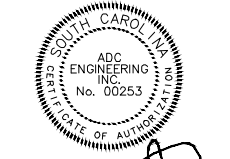
R103
SHEET 3 OF 8

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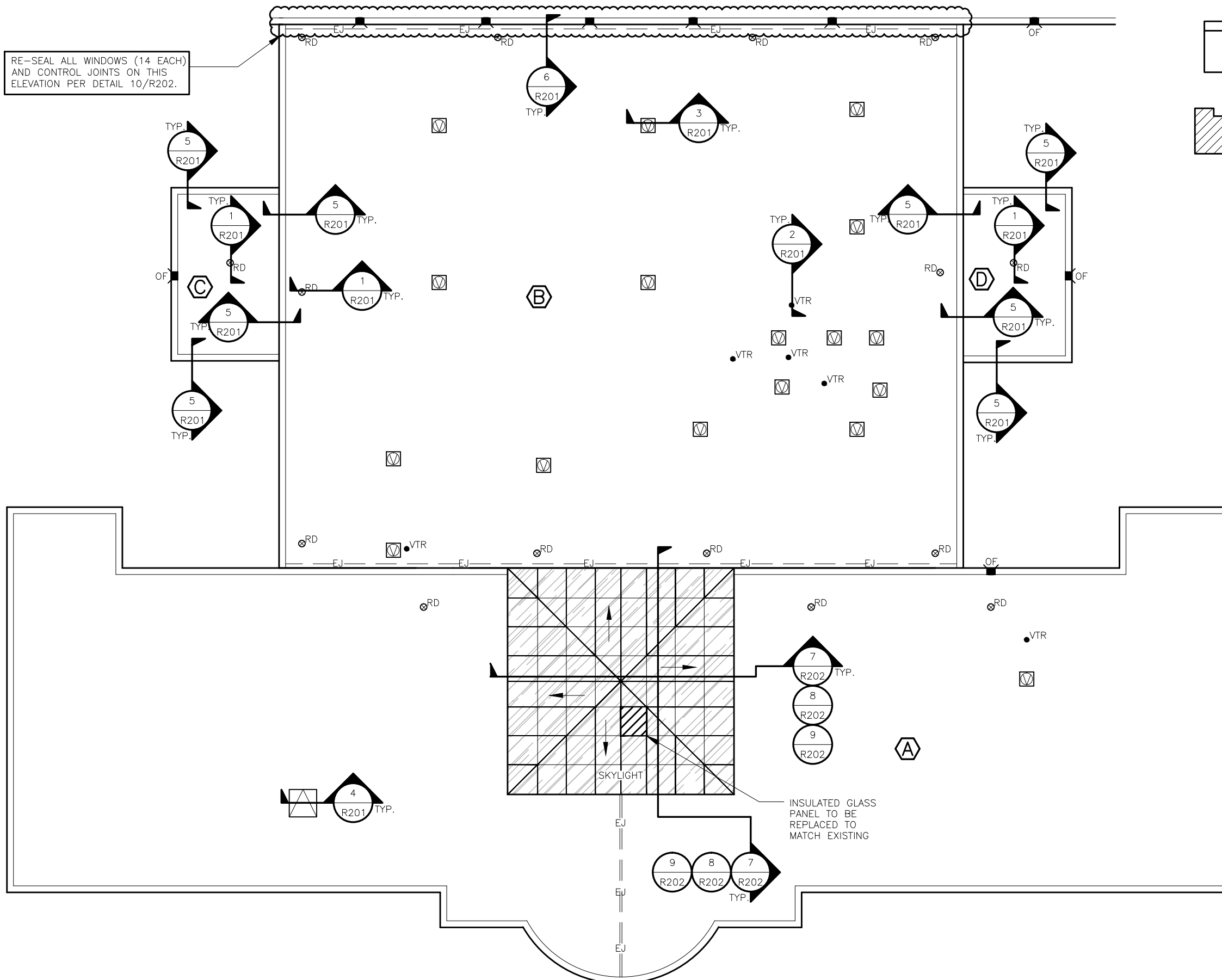
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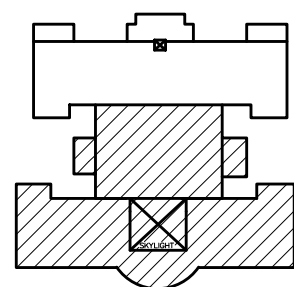
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SHEET 4 OF 8

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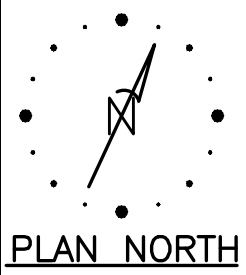


RE-SEAL ALL WINDOWS (14 EACH) AND CONTROL JOINTS ON THIS ELEVATION PER DETAIL 10/R202.

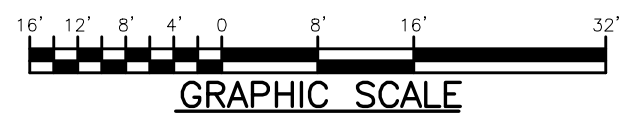
INSULATED GLASS PANEL TO BE REPLACED TO MATCH EXISTING



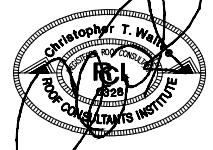
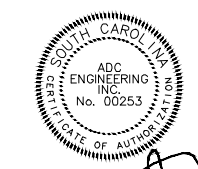
KEY PLAN



NEW ROOF PLAN



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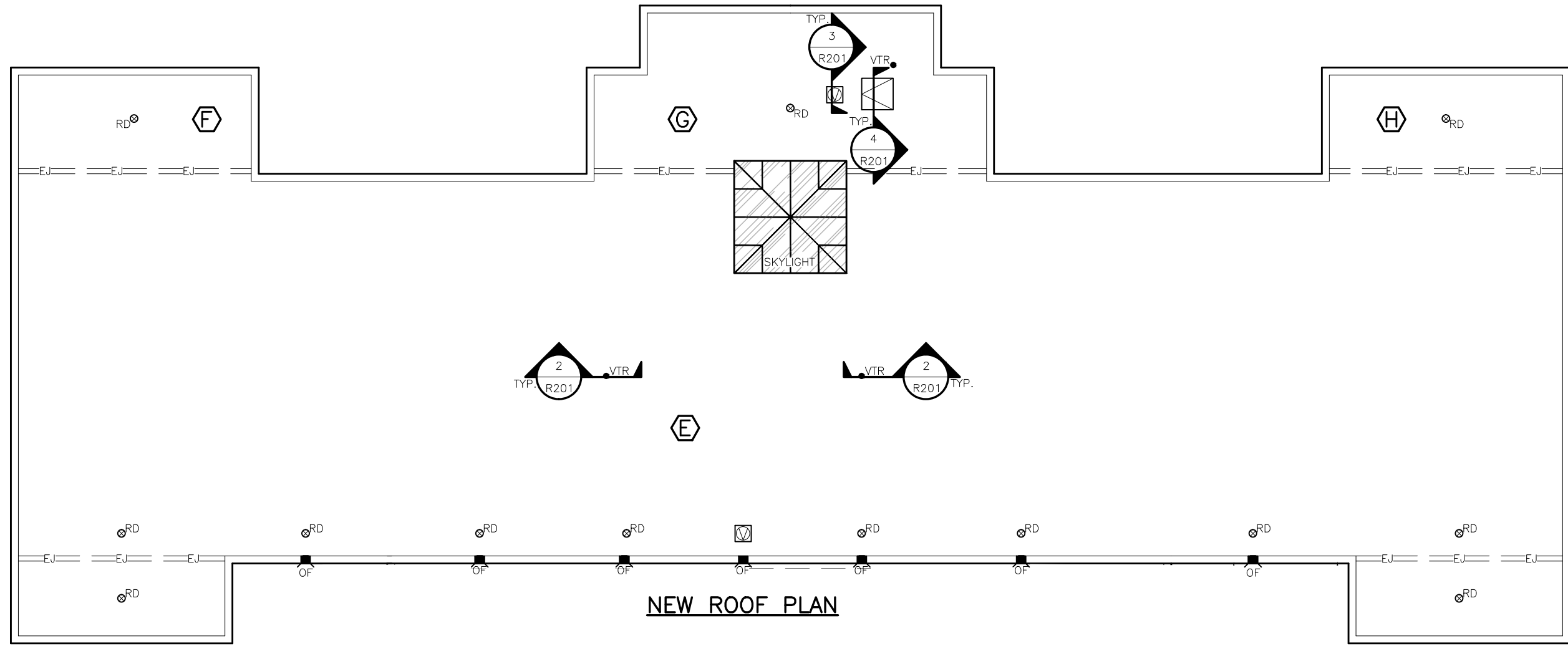
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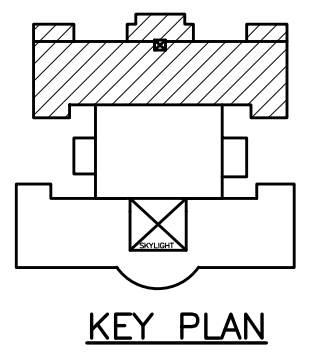
NEW ROOF PLAN

R105

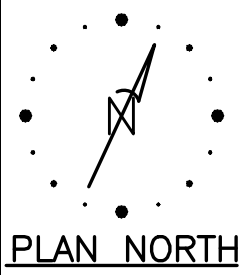
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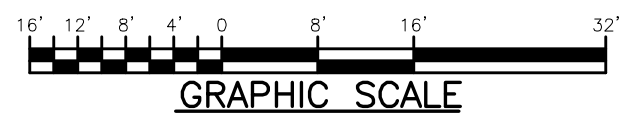
NEW ROOF PLAN



KEY PLAN

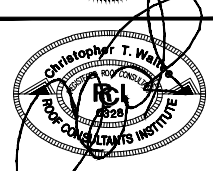
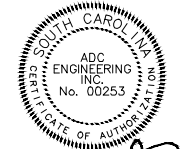


PLAN NORTH



GRAPHIC SCALE

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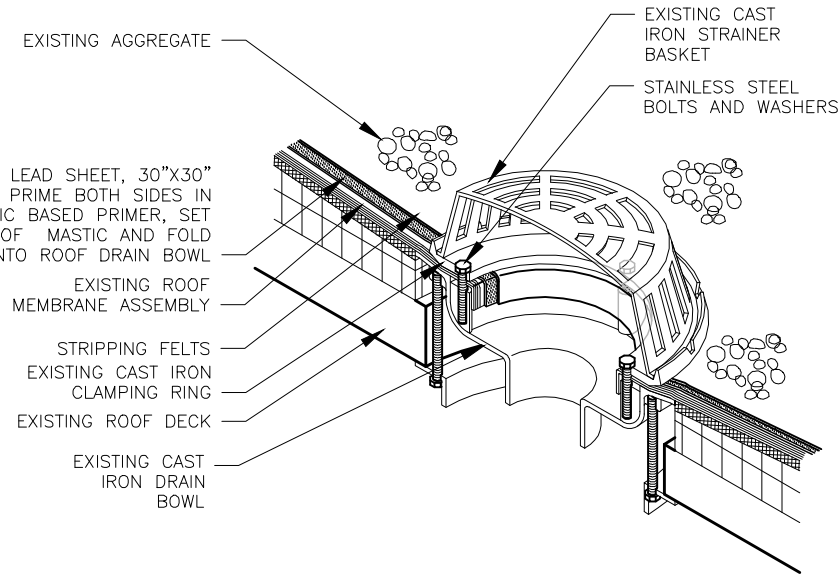
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NEW ROOF PLAN

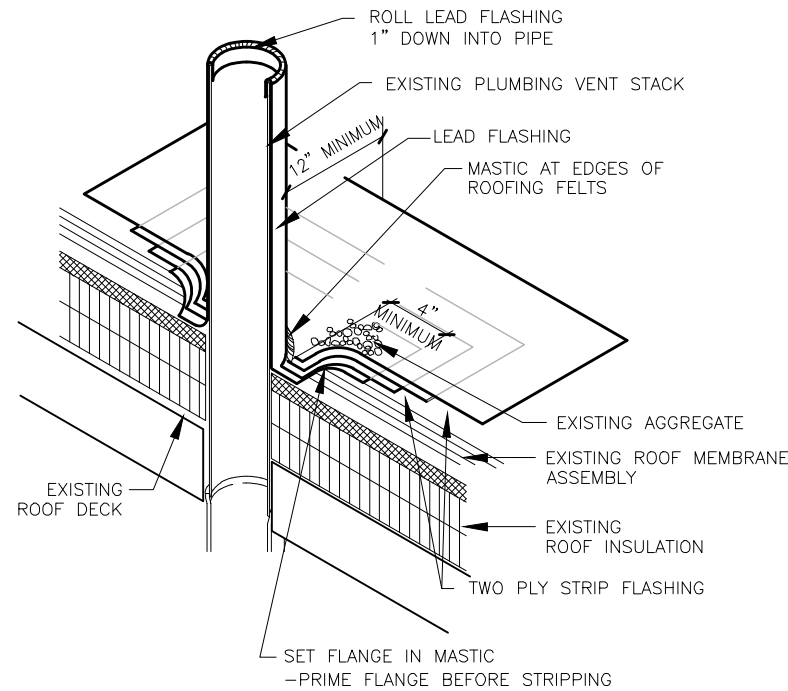
R106

SHEET 6 OF 8

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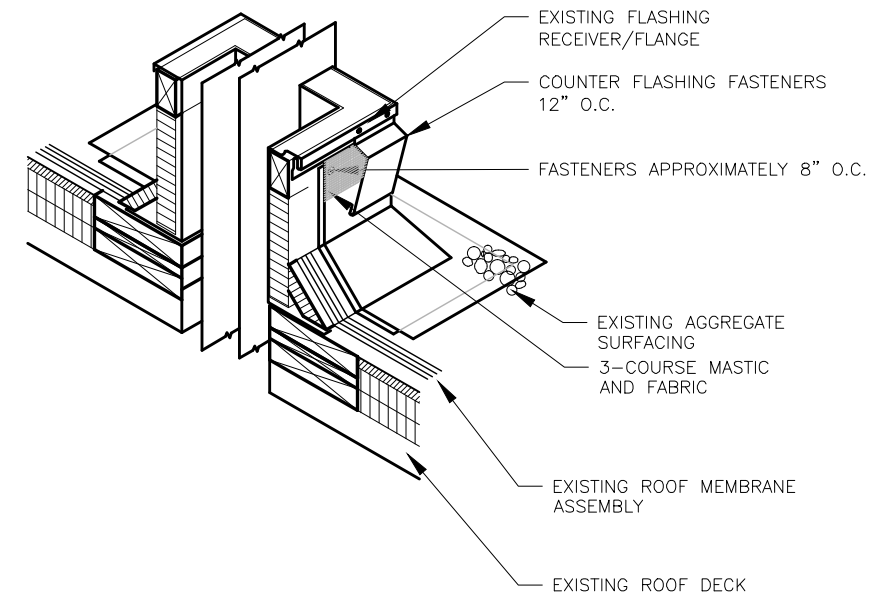


1 ROOF DRAIN
R201 NOT TO SCALE (TYPICAL)

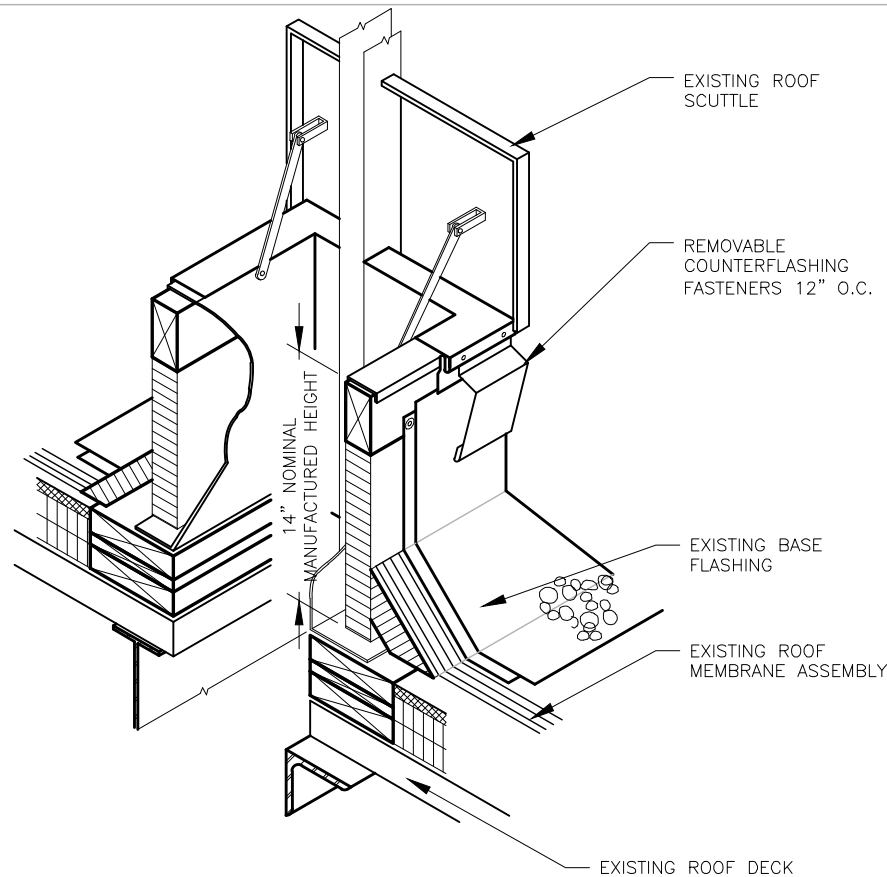


NOTES:
1. SHEET LEAD MINIMUM OF 4 LB PER SQUARE FOOT.

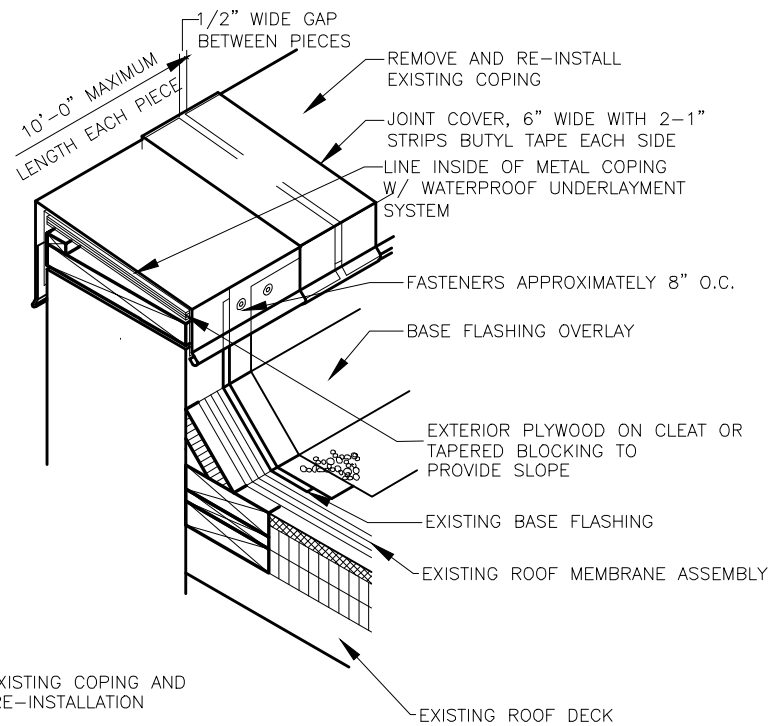
2 PLUMBING VENT FLASHING
R201 NOT TO SCALE (TYPICAL)



3 METAL CURB
R201 NOT TO SCALE (TYPICAL)

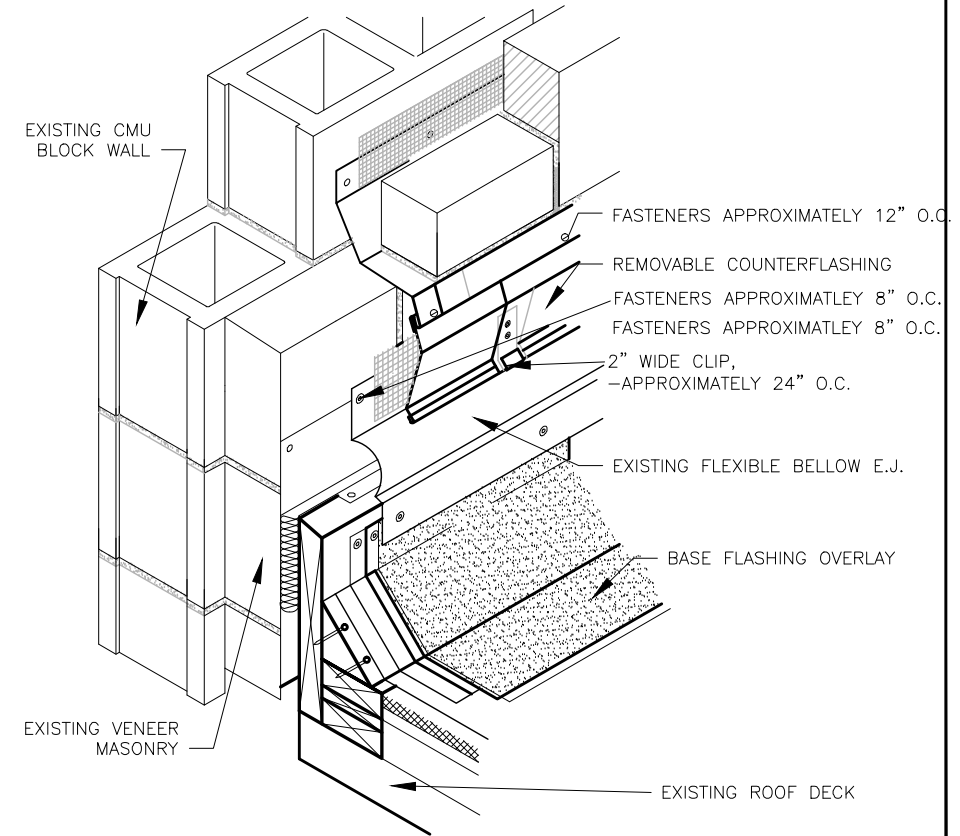


4 CURB FOR ROOF HATCH
R201 NOT TO SCALE (TYPICAL)



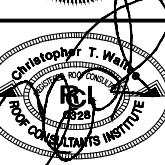
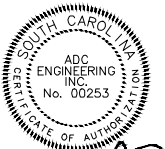
NOTES:
1. REMOVE EXISTING COPING AND STORE FOR RE-INSTALLATION

5 PARAPET CAP
R201 NOT TO SCALE (TYPICAL)



6 EXPANSION JOINT TO WALL WITH THRU-WALL FLASHING
R201 NOT TO SCALE (TYPICAL)

SUMTER ANDERSON LIBRARY ROOF REPAIRS
UNIVERSITY OF SOUTH CAROLINA, SUMTER
OWNER PROJECT NUMBER: H39-9517-MJ-A
200 MILLER RD.
SUMTER, SOUTH CAROLINA



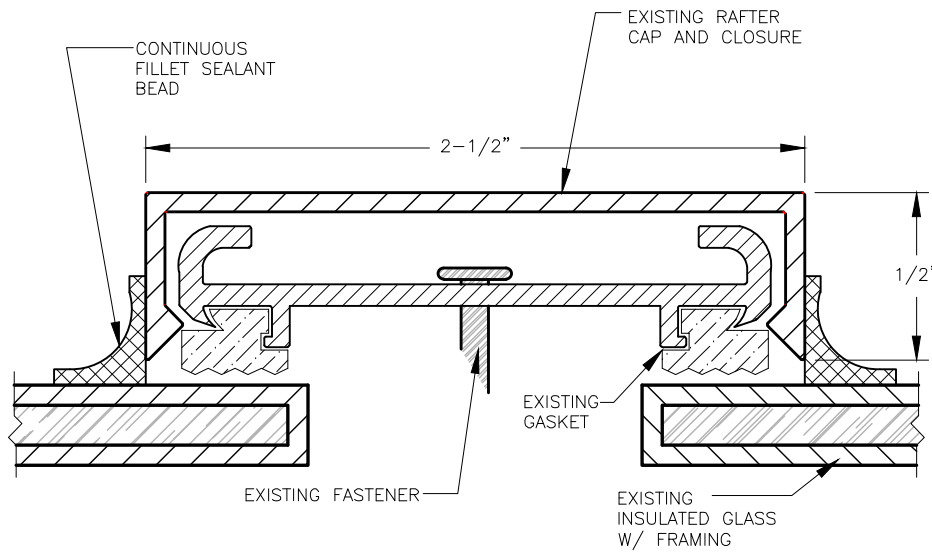
ADC
ENGINEERING SPECIALISTS
SITE SERVICES \ BUILDING ENVELOPE \ STRUCTURAL
1226 YEAMANS HALL ROAD
HANAHAN, SC 29410
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DATE: 2-13-2013
ADC PROJECT #: 12339
DESIGNED: CTW
CHECKED: CTW
DRAWN: DAN
REVISION:

DETAILS/
SECTIONS

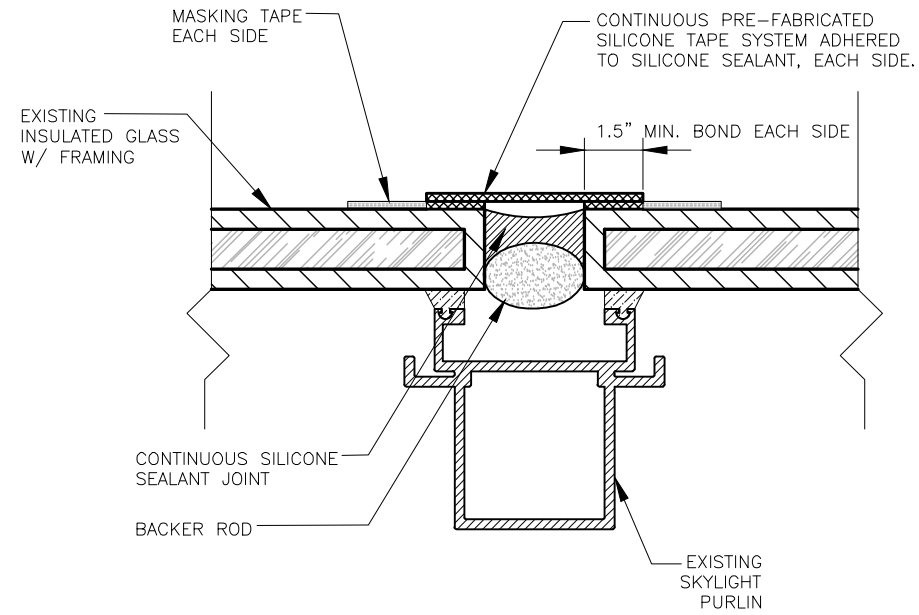
R201
SHEET 7 OF 8

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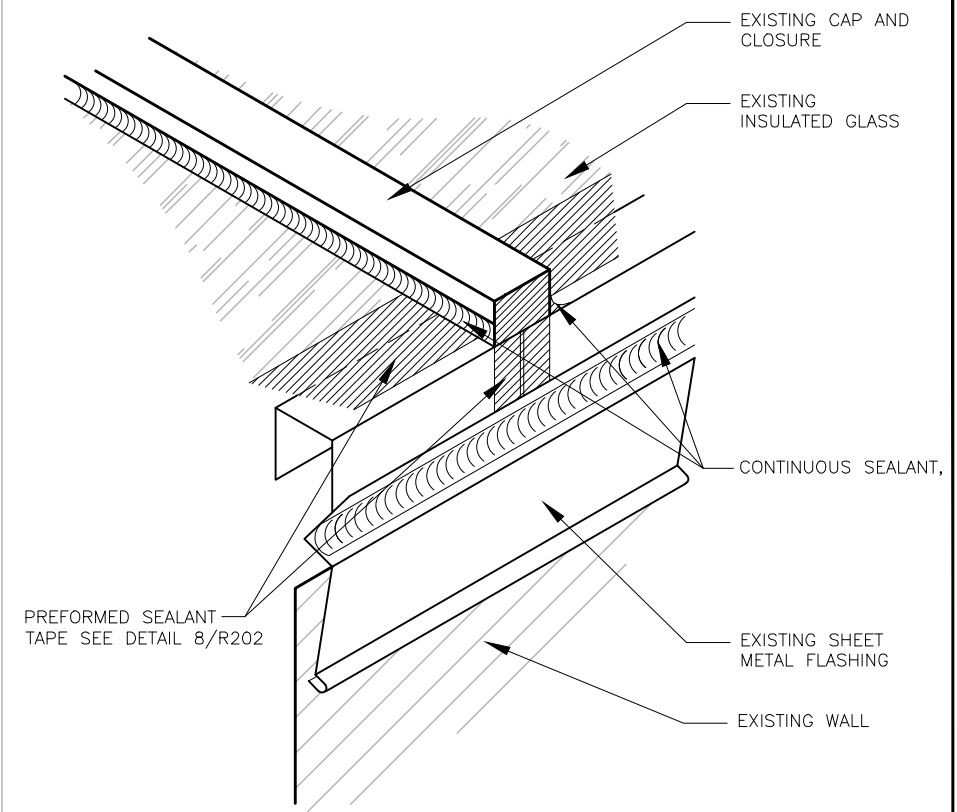
- NOTES:**
1. REMOVE EXISTING SEALANT.
 2. CLEAN AND PREPARE SURFACE PRIOR TO SEALANT APPLICATION.
 3. REMOVE MASKING TAPE UPON COMPLETION OF DETAIL.

7 SKYLIGHT RAFTER DETAIL
 NOT TO SCALE (TYPICAL)

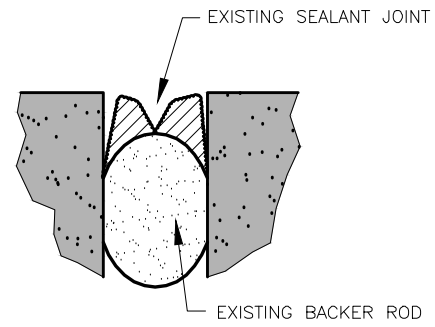


- NOTES:**
1. REMOVE EXISTING SEALANT.
 2. CLEAN AND PREPARE SURFACE PRIOR TO SEALANT APPLICATION.
 3. REMOVE MASKING TAPE UPON COMPLETION OF DETAIL.

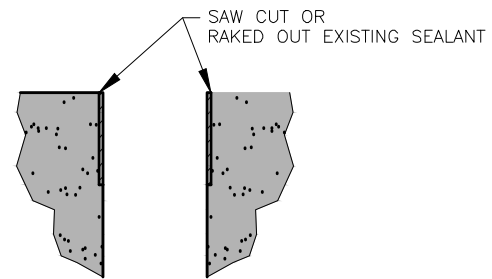
8 SKYLIGHT PURLIN DETAIL
 NOT TO SCALE (TYPICAL)



9 SKYLIGHT /EDGE METAL
 NOT TO SCALE (TYPICAL)

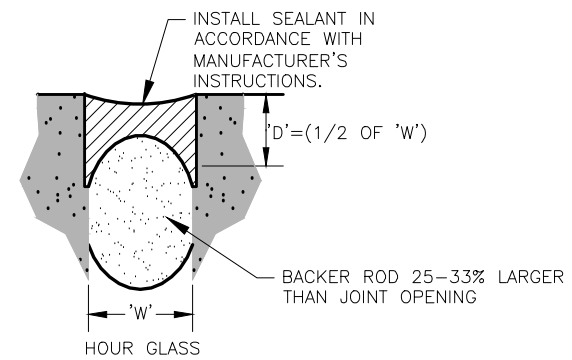


EXISTING STANDARD JOINT
 STEP ONE



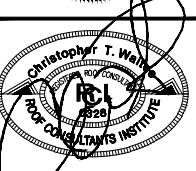
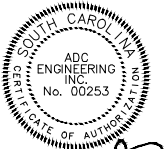
- NOTES:**
1. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
 2. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
 3. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.

PREPARE STANDARD JOINT
 STEP TWO



10 STANDARD JOINT DETAIL
 NOT TO SCALE (TYPICAL)

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**DETAILS/
 SECTIONS**

R202

SHEET 8 OF 8